

SUPPLEMENTAL DECLARATION FOR

RIVER RIDGE TWO CONDOMINIUMS OF MT. BACHELOR VILLAGE, STAGE B

WHEREAS, by Declaration dated October 29, 1990, (hereinafter referred to as the "Declaration"), MOUNT BACHELOR VILLAGE CORPORATION (hereinafter referred to as "Declarant"), submitted certain property to the provisions of the Oregon Condominium Act;

WHEREAS, the Declaration provides a plan of development permitting the annexation of additional land and the construction by Declarant of additional units in River Ridge Two Condominiums of Mt. Bachelor Village;

WHEREAS Declarant desires to submit the property described in this Supplemental Declaration known as River Ridge Two Condominiums of Mt. Bachelor Village, Stage B, together with all improvements now existing or hereafter to be constructed thereon, to the provisions, restrictions and limitations of the Oregon Condominium Act, Oregon Revised Statutes, Section 100.005 through Section 100.990.

NOW, THEREFORE, it is declared as follows:

Section 1. Definitions.

The capitalized terms used herein shall have the same meanings assigned to those terms as set forth in Section 1 of the Declaration.

Section 2. Name of the Property.

The property subject to this Supplemental Declaration for River Ridge Two Condominiums of Mt. Bachelor Village, shall be known by the name River Ridge Two Condominiums of Mt. Bachelor Village, Stage B, hereinafter referred to as River Ridge Two, Stage B.

Section 3. Description of the Property.

This Supplemental Declaration submits to the provisions, restrictions and limitations of the Oregon Condominium Act and to the Restated Mt. Bachelor Village Charter dated February 6, 1987, and recorded February 9, 1987, in Volume 140, Page 2954, Official Records of Deschutes County, Oregon, the land owned in fee simple and described on Exhibit "A", attached hereto, together with the units described and all other improvements now existing or to be

constructed on such land which together shall constitute River Ridge Two, Stage B of the Plan of Development.

Section 4. General Description of the Units.

River Ridge Two, Stage A, has been completed and consists of 8 units as described in the Declaration. River Ridge Two, Stage B, shall consist of 8 units. The units in Stage B shall be situated in two structures, which shall be three-story wood frame structures with no basements. Each Unit shall be assigned one single car garage which shall be part of a four car garage structure identified as a limited common element. The dividing walls between adjoining outdoor covered decks are not part of the units. The unit designation, description, location and approximate area of the units in River Ridge Two, Stage B are indicated on Exhibit "B" attached hereto. The units shall be bounded by the undecorated surface of the interior perimeter walls, floors and ceilings, exclusive of any common elements. All doors, door frames, windows, window frames, hot water heaters, furnaces, hot tubs on any decks and nonloadbearing walls within a unit are part of the unit.

Section 5. Common Elements.

a. The general common elements shall consist of all portions of the property not part of a unit or a limited common element, including all the above-described land; all foundations, columns, girders, beams and supports; fireplace chimneys except for fireplace chimney flues; all stairs and corridors, except stairs within units having more than one story; all exterior walls of the buildings in which the units are situated and all walls and partitions separating units from corridors, other units or stairs, together with the dividing walls between adjoining outdoor covered decks; parking areas, driveways, walkways, landscaping, recreational and other facilities, and utilities and all the appurtenances thereto.

b. The limited common elements shall consist of exterior balconies, entry porches, decks attached to individual units, including the railings thereof but not the dividing walls between adjoining decks, fireplace chimney flues, the single car garage shown on Exhibit "B", all of which shall be appurtenant to the units which they are designated to serve as shown on Exhibit "B".

Section 6. Percentage of Interest in Common Elements.

Each unit in River Ridge Two shall have an equal one-sixteenth interest in the common elements. This interest may be modified as provided in Section 26 of the original Declaration. Interests in common elements are to be allocated to units on an equal basis. Such undivided interest in the common elements shall not be separated from the unit to which it

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appertains and shall be conveyed or encumbered with the unit even though such interest is not expressly mentioned or described in the conveyance or other instrument.

The common elements shall remain undivided, and no unit owner may bring any action for partition or division of any part thereof while the property is subject to this Declaration. Any covenant to the contrary is void.

Section 7. Incorporation by Reference.

Except as otherwise set forth herein, the provisions of the Declaration are incorporated herein by reference.

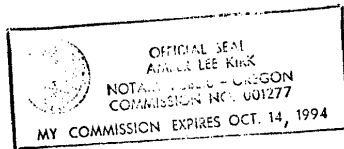
IN WITNESS WHEREOF Declarant has executed this Supplemental Declaration this 10 day of June, 1991.

MOUNT BACHELOR VILLAGE CORPORATION

By Michael P. Hollern
Michael P. Hollern

STATE OF OREGON, County of Deschutes, ss:

Personally appeared the within-named Michael P. Hollern, who being first duly sworn, did say that he is the President of Mt. Bachelor Village Corporation, the corporation hereinabove named, that said instrument was executed in behalf of said corporation by authority of its board of directors, and the execution of said instrument was his voluntary act and deed.



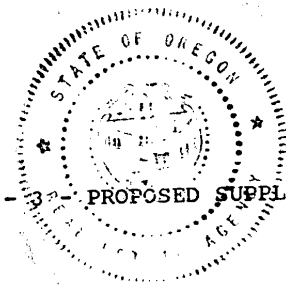
Amber Lee Kirk
Notary Public for Oregon
My Commission Expires 10/14/94
Osman B. Bratten 7-8-91
COUNTY ASSESSOR

Deborah L. Larson
COUNTY TAX ASSESSOR/Try Collector

The foregoing Declaration is approved pursuant to ORS 100.110 this 5th day of July, 1991.

MORELLA LARSEN
REAL ESTATE COMMISSIONER

By: Stan T. Mayhew



PROPOSED SUPPLEMENTAL DECLARATION (BDT:BRO03D)

JOB # 910316 BP.DES
DATE 5-14-91
BY DLG
CHKD. [Signature]

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EXHIBIT "A"

RIVER RIDGE TWO CONDOMINIUMS OF
MT BACHELOR VILLAGE, STAGE B

PROPERTY DESCRIPTION

A parcel of land containing 1.057 Acres, more or less, located in a portion of Section 7, Township 18 South, Range 12 East, Willamette Meridian, City of Bend, Deschutes County, Oregon, being more particularly described as follows:

Beginning at a point on the easterly boundary line of the plat of the River Ridge Two Condominiums of Mt. Bachelor Village, Stage A which bears North 64° 55' 10" East a distance of 1228.34 feet from the "Initial Point" for the plat of Ski House III; thence South 85° 05' 29" East a distance of 45.55 feet; thence around a 5.00 foot radius curve left 7.85 feet (chord bears North 49° 54' 32" East, 7.07 feet); thence North 04° 54' 32" East a distance of 15.00 feet; thence South 85° 05' 28" East a distance of 41.17 feet; thence South 08° 07' 07" West a distance of 20.84 feet; thence around a 512.00 foot radius curve right 122.26 feet (chord bears South 75° 02' 22" East, 121.97 feet); thence South 68° 11' 55" East a distance of 73.62 feet; thence South 21° 48' 05" West a distance of 39.51 feet; thence South 27° 01' 31" East a distance of 42.06 feet; thence South 15° 22' 43" West a distance of 87.70 feet; thence South 83° 24' 58" West a distance of 146.65 feet to a point on the easterly boundary line of said plat of the River Ridge Two Condominiums of Mt. Bachelor Village, Stage A; thence along said easterly boundary line the following three courses:

North 15° 57' 09" West a distance of 122.01 feet;

North 48° 08' 07" West a distance of 117.78 feet;

North 11° 18' 54" East a distance of 47.92 feet to the point of beginning, the terminus of this description.

SUBJECT TO: All easements, restrictions and rights-of-way of record and those common and apparent on the land.

RIVER RIDGE TW OF MT. BACHELOR

LOCATED IN THE NORTH ONE-HALF OF SECTION 7,
CITY OF BEND, DESCH

SURVEYOR'S CERTIFICATE:

I, GARY W. HICKMAN, REGISTERED PROFESSIONAL SURVEYOR IN THE STATE OF OREGON, BEING FIRST DULY SWORN, DEPOSE AND SAY THAT I HAVE CORRECTLY SURVEYED AND MARKED WITH LEGAL MONUMENTS THE LAND REPRESENTED AND THAT THE PLAT OF 'RIVER RIDGE TWO CONDOMINIUMS OF MT. BACHELOR VILLAGE, STAGE B' IN THE CITY OF BEND, DESCHUTES COUNTY, OREGON, FULLY AND ACCURATELY DEPICTS THE BOUNDARIES OF THE UNITS OF THE BUILDINGS AND THAT CONSTRUCTION OF THE UNITS AND BUILDINGS AS DEPICTED ON THE PLAT HAS BEEN COMPLETED, THAT A 3" BRASS CAP IN A 2 1/2" IRON PIPE EXISTS AT THE 'INITIAL POINT' AND THAT THE PROPERTY PLATTED IS DESCRIBED AS FOLLOWS:



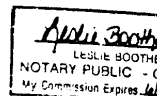
A PARCEL OF LAND LOCATED IN A PORTION OF THE NORTH ONE-HALF OF SECTION 7, TOWNSHIP 18 SOUTH, RANGE 12 EAST, WILLAMETTE MERIDIAN, CITY OF BEND, DESCHUTES COUNTY, OREGON, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EASTERLY BOUNDARY LINE OF THE PLAT OF THE RIVER RIDGE TWO CONDOMINIUMS OF MT. BACHELOR VILLAGE, STAGE A WHICH BEARS NORTH 61° 55' 10" EAST A DISTANCE OF 1228.34 FEET FROM THE 'INITIAL POINT' FOR THE PLAT OF SKI HOUSE III, SAID POINT ALSO BEING THE 'INITIAL POINT' OF THIS PLAT; THENCE SOUTH 85° 05' 29" EAST A DISTANCE OF 45.95 FEET; THENCE AROUND A 500 FOOT RADIUS CURVE LEFT 7.85 FEET (CHORD BEARS NORTH 49° 54' 32" EAST, 7.07 FEET); THENCE NORTH 04° 54' 32" EAST A DISTANCE OF 15.00 FEET; THENCE SOUTH 85° 05' 28" EAST A DISTANCE OF 41.7 FEET; THENCE SOUTH 08° 07' 07" WEST A DISTANCE OF 20.84 FEET; THENCE AROUND A 512.00 FOOT RADIUS CURVE RIGHT 122.26 FEET (CHORD BEARS SOUTH 75° 02' 22" EAST, 121.97 FEET); THENCE SOUTH 68° 11' 55" EAST A DISTANCE OF 73.62 FEET; THENCE SOUTH 21° 48' 05" WEST A DISTANCE OF 39.51 FEET; THENCE SOUTH 27° 01' 31" EAST A DISTANCE OF 42.06 FEET; THENCE SOUTH 15° 22' 43" WEST A DISTANCE OF 87.70 FEET; THENCE SOUTH 83° 24' 58" WEST A DISTANCE OF 146.65 FEET TO A POINT ON THE EASTERLY BOUNDARY LINE OF SAID PLAT OF THE RIVER RIDGE TWO CONDOMINIUMS OF MT. BACHELOR VILLAGE, STAGE A; THENCE ALONG SAID EASTERLY BOUNDARY LINE THE FOLLOWING THREE COURSES:

NORTH 15° 57' 09" WEST A DISTANCE OF 122.01 FEET;
NORTH 48° 08' 07" WEST A DISTANCE OF 117.78 FEET;
NORTH 11° 18' 54" EAST A DISTANCE OF 47.92 FEET TO THE POINT OF BEGINNING.
THE TERMINUS OF THIS DESCRIPTION.

BY:

Gary W. Hickman 6/1/91
GARY W. HICKMAN, PLS 1678



SUBSCRIBED AND SWORN BEFORE ME THIS 1st DAY OF May, 1991.

BY:

Leslie Booth
NOTARY PUBLIC FOR THE STATE OF OREGON

6/20/92
MY COMMISSION EXPIRES

DEDICATION:

MOUNT BACHELOR VILLAGE CORPORATION, AN OREGON CORPORATION, OWNER IN FEE SIMPLE OF THE LANDS SHOWN ON THE ANNEXED PLAT OF 'RIVER RIDGE TWO CONDOMINIUMS OF MT. BACHELOR VILLAGE, STAGE B' AND MORE PARTICULARLY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREUNTO ATTACHED, HEREBY DEDICATE TO THE CITY OF BEND THE WATER AND SEVER EASEMENTS AS SHOWN ON THE ATTACHED PLAT MAP.

BY:

Michael P. Hollern
MICHAEL P. HOLLERN, PRESIDENT
MOUNT BACHELOR VILLAGE CORPORATION

6-18-91
DATE

DECLARATION:

MOUNT BACHELOR VILLAGE CORPORATION, AN OREGON CORPORATION, OWNER IN FEE SIMPLE OF THE LANDS SHOWN ON THE ANNEXED PLAT OF 'RIVER RIDGE TWO CONDOMINIUMS OF MT. BACHELOR VILLAGE, STAGE B' AND MORE PARTICULARLY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREUNTO ATTACHED, HAVE CAUSED SAID LAND TO BE PLATTED AS SHOWN ON SUCH PLAT AND DECLARE THE PLAT OF 'RIVER RIDGE TWO CONDOMINIUMS OF MT. BACHELOR VILLAGE, STAGE B' TO BE A CORRECT PLAT AS LOCATED IN THE NORTH ONE-HALF OF SECTION 7, TOWNSHIP 18 SOUTH, RANGE 12 EAST, WILLAMETTE MERIDIAN, CITY OF BEND, DESCHUTES COUNTY, OREGON AND THAT THE PROPERTY AND IMPROVEMENTS DESCRIBED AND DEPICTED ON THE PLAT ARE SUBJECT TO THE PROVISIONS OF ORS 100.005 TO 100.025.

BY:

Michael P. Hollern
MICHAEL P. HOLLERN, PRESIDENT
MOUNT BACHELOR VILLAGE CORPORATION

6-13-91
DATE

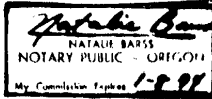
0 CONDOMINIUMS VILLAGE, STAGE B

PLAT # _____

N 7, TOWNSHIP 18 SOUTH, RANGE 12 EAST, W.M.,
UTES COUNTY, OREGON

ACKNOWLEDGEMENT:

STATE OF OREGON)
COUNTY OF DESCHUTES) S.S.



THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON June 18 1991
BY MICHAEL P. HOLLERN, PRESIDENT OF MOUNT BACHELOR VILLAGE CORPORATION, AN OREGON
CORPORATION, ON BEHALF OF THE CORPORATION.

Natalie Barts
NOTARY PUBLIC FOR THE STATE OF OREGON

1-8-91
MY COMMISSION EXPIRES

ASSESSOR'S CERTIFICATE:

I HEREBY CERTIFY THAT ALL AD VALOREM TAXES AND SPECIAL ASSESSMENTS, FEES,
AND OTHER CHARGES REQUIRED BY LAW TO BE PLACED ON THE 1991-1992 TAX ROLL
WHICH BECAME A LIEN ON THIS SUBDIVISION OR WILL BECOME A LIEN DURING THIS
CALENDAR YEAR HAVE BEEN PAID TO ME.

BY: Ocean B. Bratton
DESCHUTES COUNTY ASSESSOR

6-18-91
DATE

APPROVALS:

THE PLAT OF "RIVER RIDGE TWO CONDOMINIUMS OF MT. BACHELOR VILLAGE, STAGE B" AS
LOCATED IN THE CITY OF BEND, DESCHUTES COUNTY, OREGON, HAS BEEN EXAMINED AND APPROVED.

Archie Hensick 6-18 1991
CITY OF BEND PLANNING DIRECTOR

Thomas J. Gellera 6-14 1991
CITY OF BEND ENGINEER

John C. Blunt 6-14 1991
CITY OF BEND SURVEYOR

Ocean B. Bratton 6-18 1991
DESCHUTES COUNTY ASSESSOR

Chris L. Latham 6-18 1991
DESCHUTES COUNTY TAX COLLECTOR

I HEREBY CERTIFY THAT ALL TAXES ARE PAID AS OF THIS DATE

DESCHUTES COUNTY COMMISSIONER _____ 1991

DESCHUTES COUNTY COMMISSIONER _____ 1991

DESCHUTES COUNTY COMMISSIONER _____ 1991

SIGNATURE BY THE BOARD OF COMMISSIONERS CONSTITUTES ACCEPTANCE BY THE COUNTY
OF ANY RIGHT-OF-WAY DEDICATED HEREIN TO THE PUBLIC.

WATER RIGHTS NOTE:

NO WATER RIGHTS EXIST WITHIN THE BOUNDARIES OF THIS PLAT.

BY: Chris L. Latham 6-18-91
DATE

RECEIVED
JUN 25 1991
REAL ESTATE AGENCY
SALEM, OREGON

PREPARED BY:

HWA SURVEYORS, ENGINEERS
& PLANNERS
HICKMAN, WILLIAMS & ASSOCIATES, INC.
25275 CAPITOL BLVD., SUITE 200, BEND, OREGON 97701
PHONE (503) 338-6301

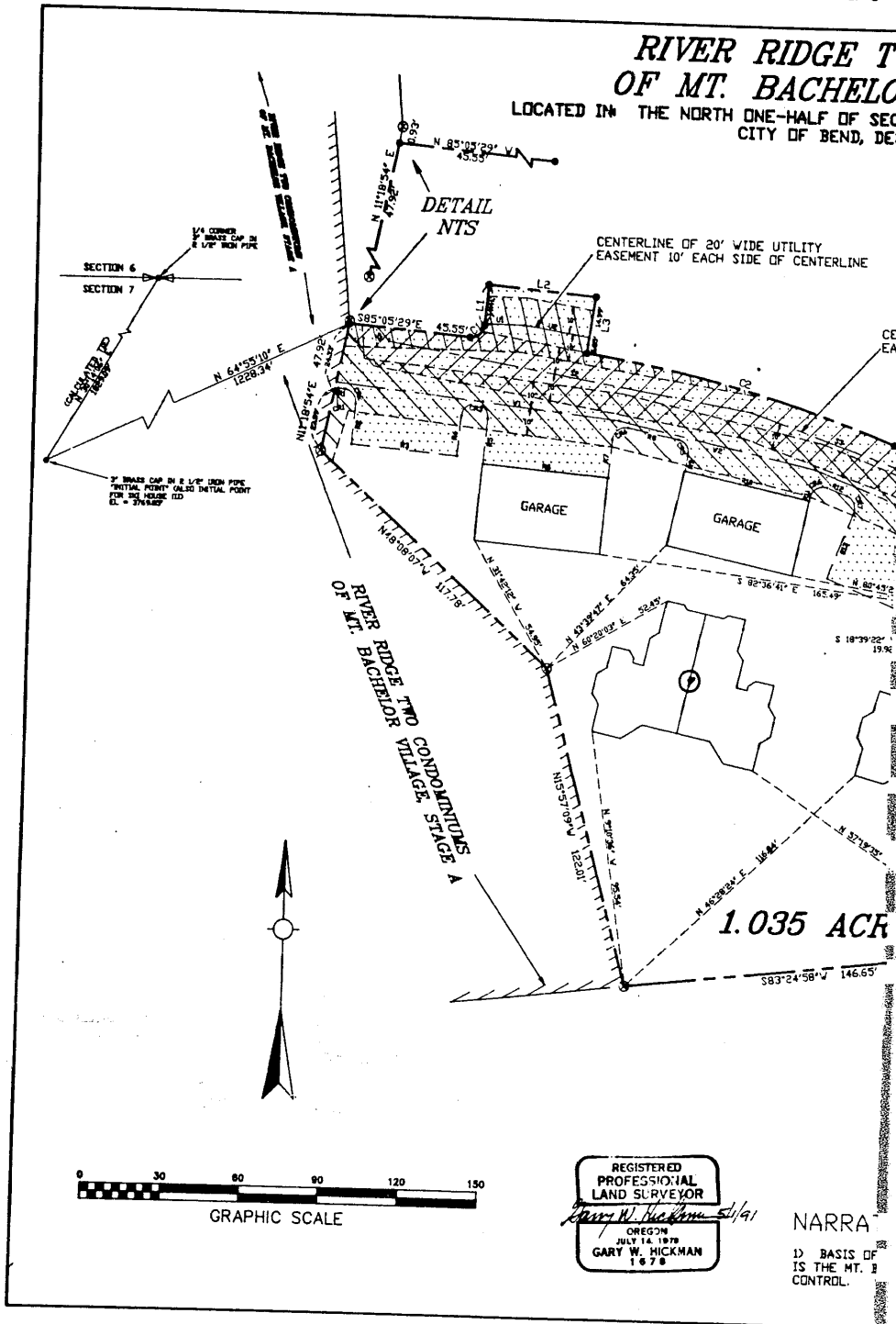
SHEET 1 OF 10

910316P1

239 - 1910

RIVER RIDGE TWO OF MT. BACHELOR

LOCATED IN THE NORTH ONE-HALF OF SECTION
CITY OF BEND, DESCHUTES COUNTY, OREGON



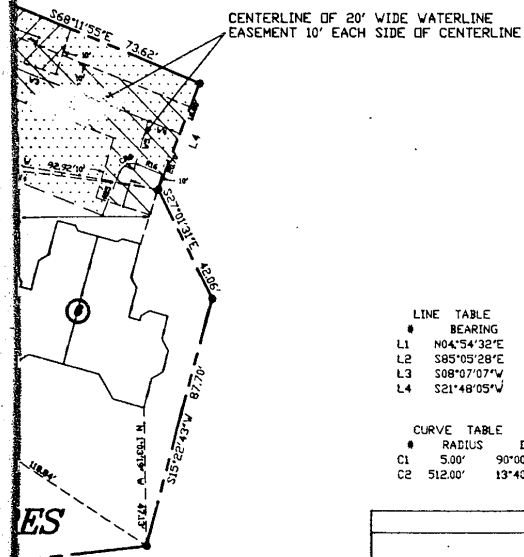
TO CONDOMINIUMS R VILLAGE, STAGE B

ION 7, TOWNSHIP 18 SOUTH, RANGE 12 EAST, W.M.
CHUTES COUNTY, OREGON

LEGEND:

- PLAT BOUNDARY
- /// BOUNDARY RIVER RIDGE TWO CONDOMINIUMS OF MT. BACHELOR VILLAGE, STAGE A
- SET 5/8" IRON ROD W/ PLASTIC CAP STAMPED 'HWA 1678'
 - ⊗ FOUND 5/8" IRON ROD W/ PLASTIC CAP STAMPED 'HWA 1678' PER PLAT OF RIVER RIDGE TWO CONDOMINIUMS, STAGE A
 - CALCULATED POSITION ONLY
 - Ⓢ BUILDING NUMBER
- ▨ DENOTES ROAD EASEMENT
- ▨ DENOTES UTILITY EASEMENT
- ▨ DENOTES SEWERMAIN EASEMENT
- ▨ DENOTES WATERLINE EASEMENT

CENTERLINE OF 20' WIDE SEWERLINE
EASEMENT 10' EACH SIDE OF CENTERLINE



LINE	TABLE		
#	BEARING	DISTANCE	
L1	N04°54'32"E	15.00'	
L2	S85°05'28"E	41.17'	
L3	S08°07'07"W	20.84'	
L4	S21°48'05"W	39.51'	

CURVE	TABLE					
#	RADIUS	DELTA	LENGTH	CH.BEARING	DISTANCE	TANGENT
C1	5.00'	90°00'00"	7.85'	N49°54'32"E	7.87'	5.00'
C2	512.00'	13°40'54"	122.26'	S75°02'22"E	121.97'	61.42'

EASEMENT LINE & CURVE TABLES

ROAD EASEMENT LINE TABLE			SEWER EASEMENT LINE TABLE			UTILITY EASEMENT LINE TABLE		
#	BEARING	DISTANCE	#	BEARING	DISTANCE	#	BEARING	DISTANCE
R1	S85°05'28"E	2.42'	S1	S45°38'13"E	4.80'	U1	S85°05'28"E	15.00'
R2	S04°41'54"W	13.20'	S2	S84°37'23"E	14.20'	U2	S85°05'28"E	15.00'
R3	S85°05'28"E	46.20'	S3	S75°02'22"E	7.87'	U3	S85°05'28"E	15.00'
R4	N04°41'54"E	13.20'						
R5	S04°41'54"W	13.20'						
R6	S85°05'28"E	46.20'						
R7	N04°41'54"E	13.20'						
R8	S75°02'22"E	14.20'						
R9	S09°37'07"W	5.00'						
R10	S77°36'42"E	48.00'						
R11	N05°03'38"E	1.00'						
R12	S21°48'05"W	8.20'						
R13	S27°48'05"W	26.20'						
R14	S64°11'30"E	63.80'						
R15	N01°48'05"E	14.12'						
R16	S64°11'30"E	63.80'						

WATER EASEMENT LINE TABLE		
#	BEARING	DISTANCE
W1	S85°05'28"E	15.00'
W2	S77°36'42"E	76.32'
W3	S45°38'13"E	88.47'
W4	S84°37'23"E	14.20'
W5	S21°48'05"W	20.84'

ROAD EASEMENT CURVE TABLE		
#	RADIUS	DELTA
C1	5.00'	13°40'54"
C2	5.00'	13°40'54"
C3	5.00'	13°40'54"
C4	5.00'	13°40'54"
C5	5.00'	13°40'54"
C6	5.00'	13°40'54"
C7	5.00'	13°40'54"
C8	5.00'	13°40'54"

NOTE:

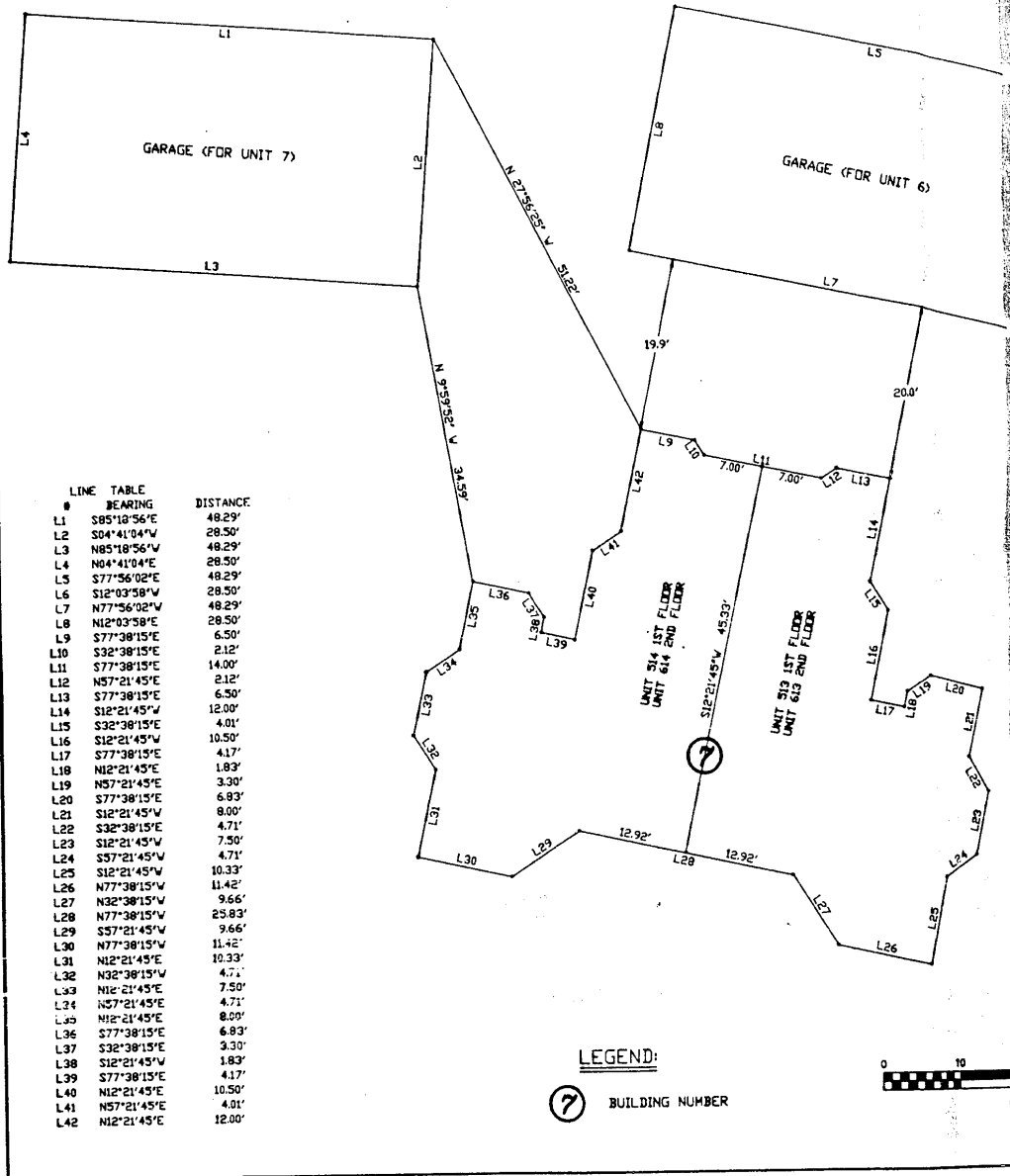
BEARING & SURVEY
MCHLOR VILLAGE

SHEET 2 OF 10

910316P2

RIVER RIDGE TWO C OF MT. BACHELOR VII

LOCATED IN THE NORTH ONE-HALF OF SECTION 7, T
CITY OF BEND, DESCHUTES

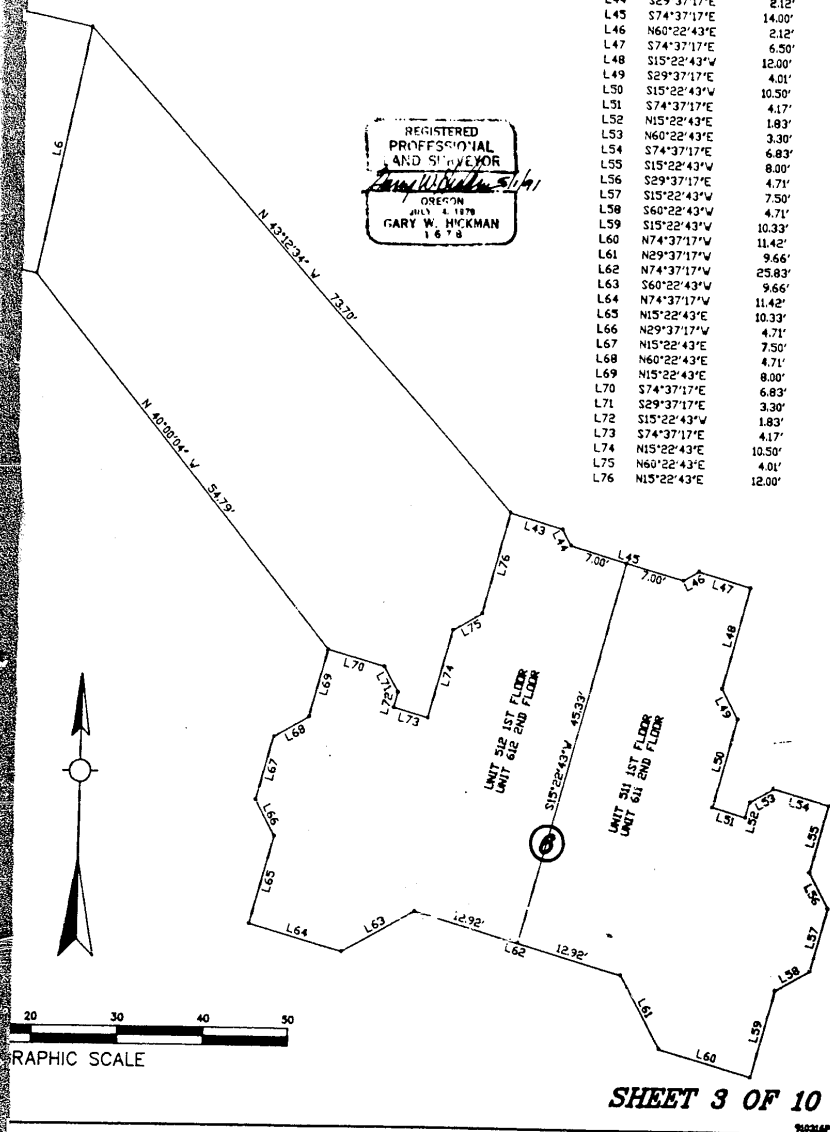


CONDOMINIUMS VILLAGE, STAGE B

TOWNSHIP 18 SOUTH, RANGE 12 EAST, W.M.,
COUNTY, OREGON

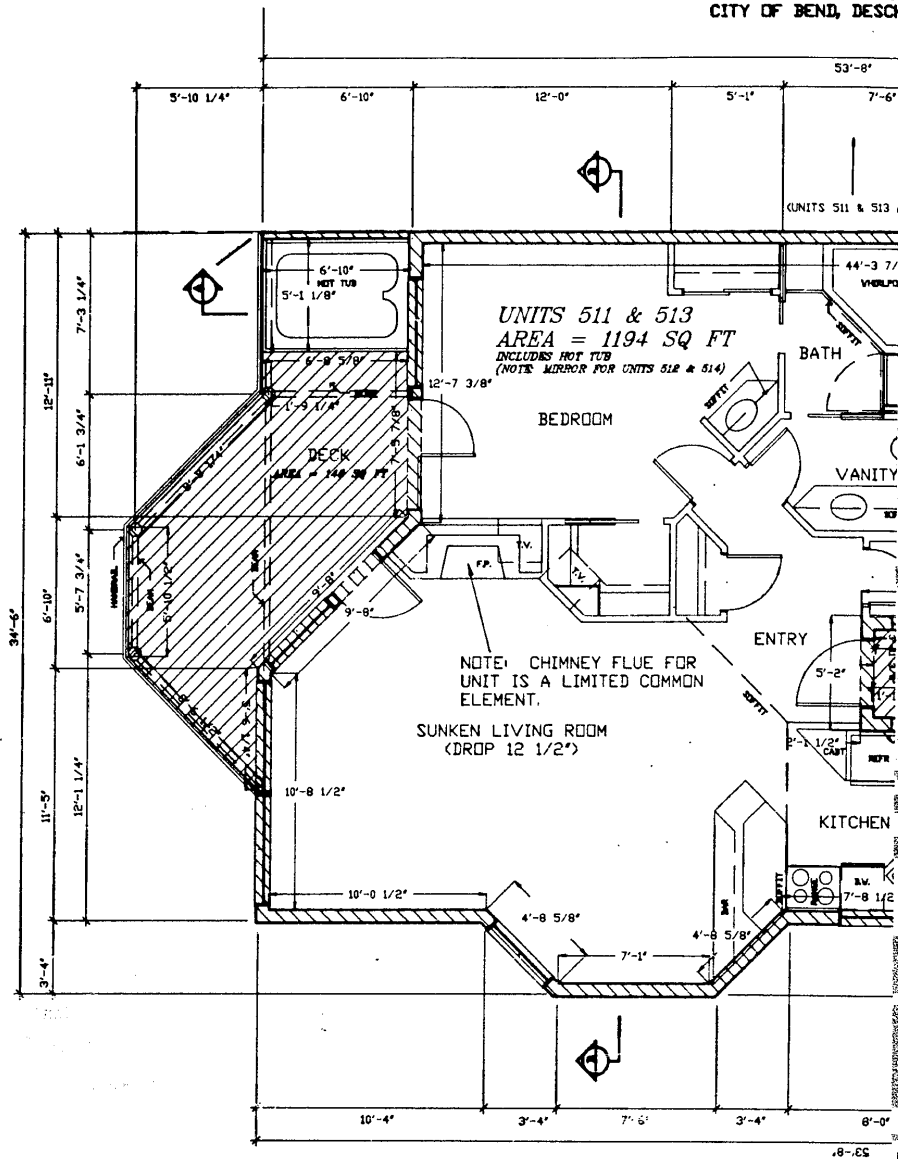
LINE	BEARING	DISTANCE
L43	S74°37'17"E	6.50'
L44	S29°37'17"E	2.12'
L45	S74°37'17"E	14.00'
L46	N60°22'43"W	2.12'
L47	S74°37'17"E	6.50'
L48	N15°22'43"W	12.00'
L49	S29°37'17"E	4.01'
L50	S15°22'43"W	10.50'
L51	S74°37'17"E	4.17'
L52	N15°22'43"W	1.83'
L53	N60°22'43"W	3.30'
L54	S74°37'17"E	6.83'
L55	S15°22'43"W	8.00'
L56	S29°37'17"E	9.00'
L57	S15°22'43"W	7.50'
L58	S60°22'43"W	4.71'
L59	S15°22'43"W	10.33'
L60	N74°37'17"W	11.42'
L61	N29°37'17"W	9.66'
L62	N74°37'17"W	25.83'
L63	S60°22'43"W	9.66'
L64	N74°37'17"W	11.42'
L65	N15°22'43"W	10.33'
L66	N29°37'17"W	4.71'
L67	N15°22'43"W	7.50'
L68	N60°22'43"W	4.71'
L69	N15°22'43"W	8.00'
L70	S74°37'17"E	6.83'
L71	S29°37'17"E	3.30'
L72	N15°22'43"W	1.83'
L73	S74°37'17"E	4.17'
L74	N15°22'43"W	10.50'
L75	N60°22'43"W	4.01'
L76	N15°22'43"W	12.00'

REGISTERED
PROFESSIONAL
LAND SURVEYOR
Gary W. Hickman 5/1/91
OREGON
JULY 4, 1970
GARY W. HICKMAN
1678



RIVER RIDGE TW OF MT. BACHELOR

LOCATED IN THE NORTH ONE-HALF OF SECTION
CITY OF BEND, DESCH



FIRST FLOOR PLAN

1/4" = 1'-0"

AREA: 1194 SQ FT—UNITS 511 & 513 (UNITS 512 & 514 ARE A MIRROR IMAGE OF 511 & 513)

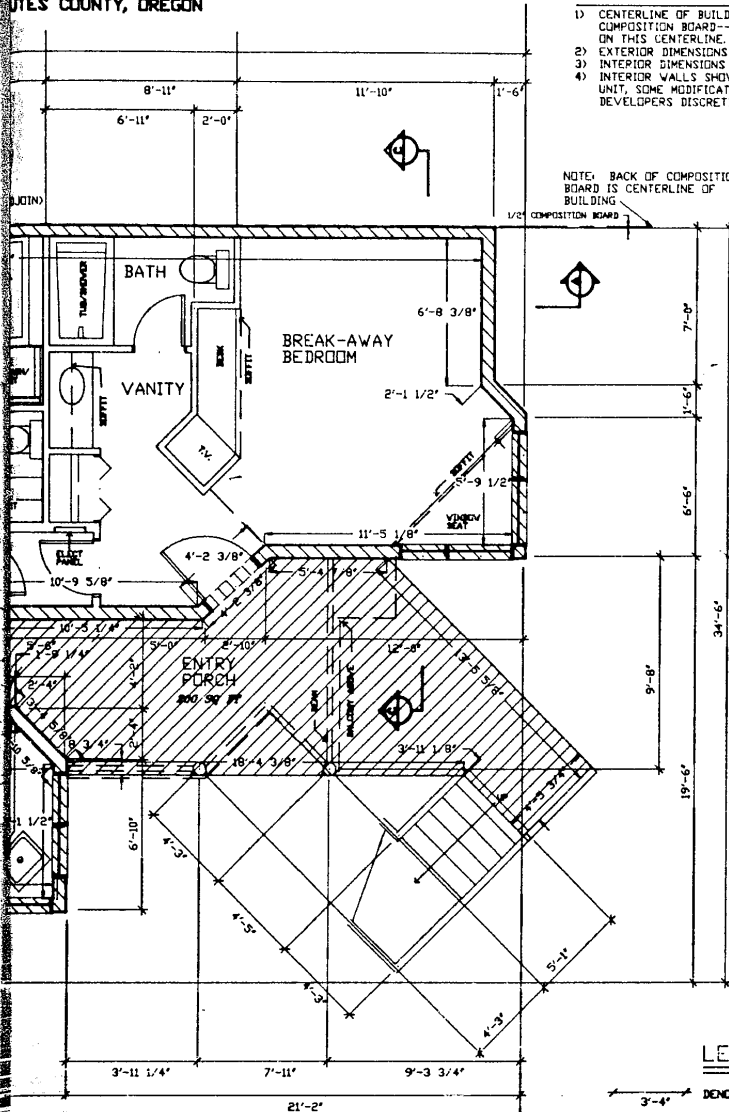
0 CONDOMINIUMS VILLAGE, STAGE B

N 7, TOWNSHIP 18 SOUTH, RANGE 12 EAST, W.M.
UTES COUNTY, OREGON

GENERAL NOTES:

- 1) CENTERLINE OF BUILDING IS BACK FACE OF COMPOSITION BOARD--BUILDING IS MIRRORED ON THIS CENTERLINE.
- 2) EXTERIOR DIMENSIONS ARE TO FRAMED WALLS.
- 3) INTERIOR DIMENSIONS ARE TO FINISHED WALLS.
- 4) INTERIOR WALLS SHOWN ARE FOR THE STANDARD UNIT, SOME MODIFICATION MAY OCCUR AT THE DEVELOPERS DISCRETION.

NOTE: BACK OF COMPOSITION BOARD IS CENTERLINE OF BUILDING
1/2" COMPOSITION BOARD



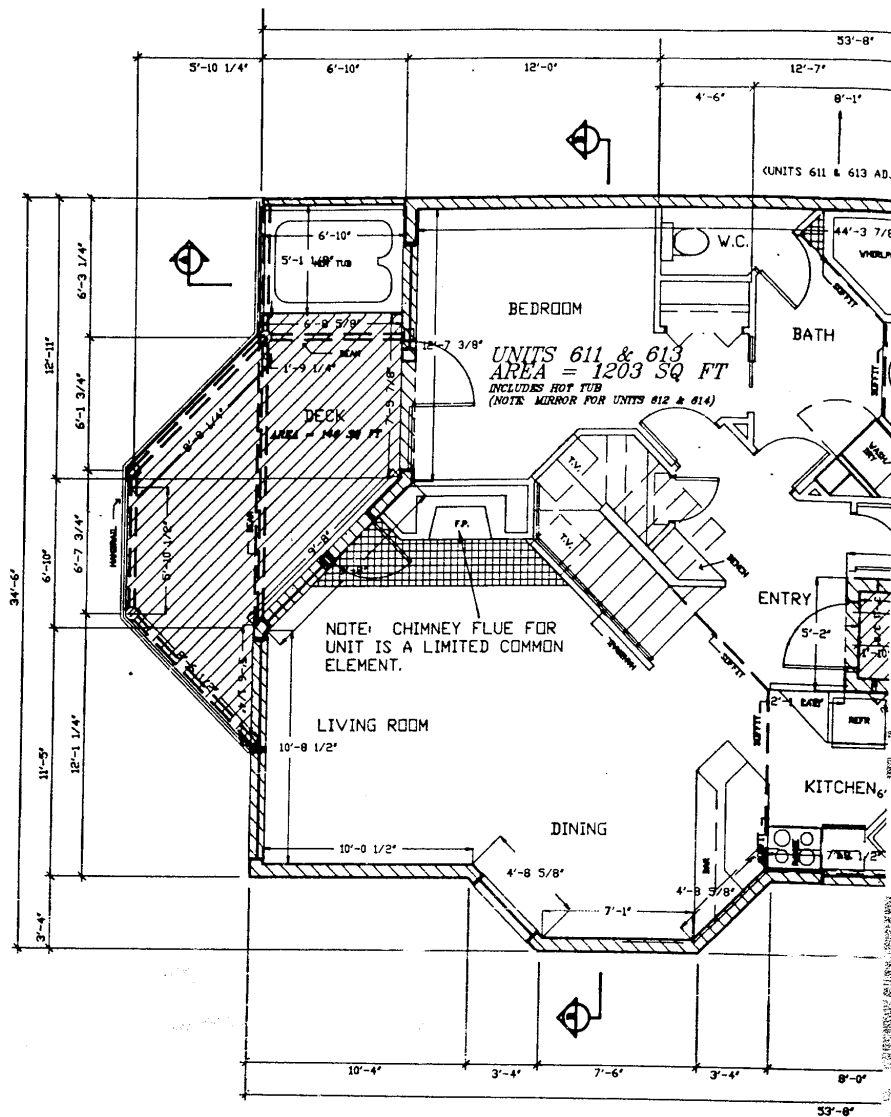
LEGEND:

- 3'-4" DENOTES EXTERIOR DIMENSION
- 4'-6 3/8" DENOTES INTERIOR DIMENSION
- DENOTES COMMON ELEMENT
- DENOTES LIMITED COMMON ELEMENT

SHEET 4 OF 10
910316P4

RIVER RIDGE TOWN OF MT. BACHELOR

LOCATED IN THE NORTH ONE-HALF OF SECTION
CITY OF BEND, DESCHUTES



SECOND FLOOR PLAN

1/4" = 1'-0"

AREA: 1203 SQ FT—UNITS 611 & 613 UNITS 612 & 614 ARE A MIRROR IMAGE OF 611 &

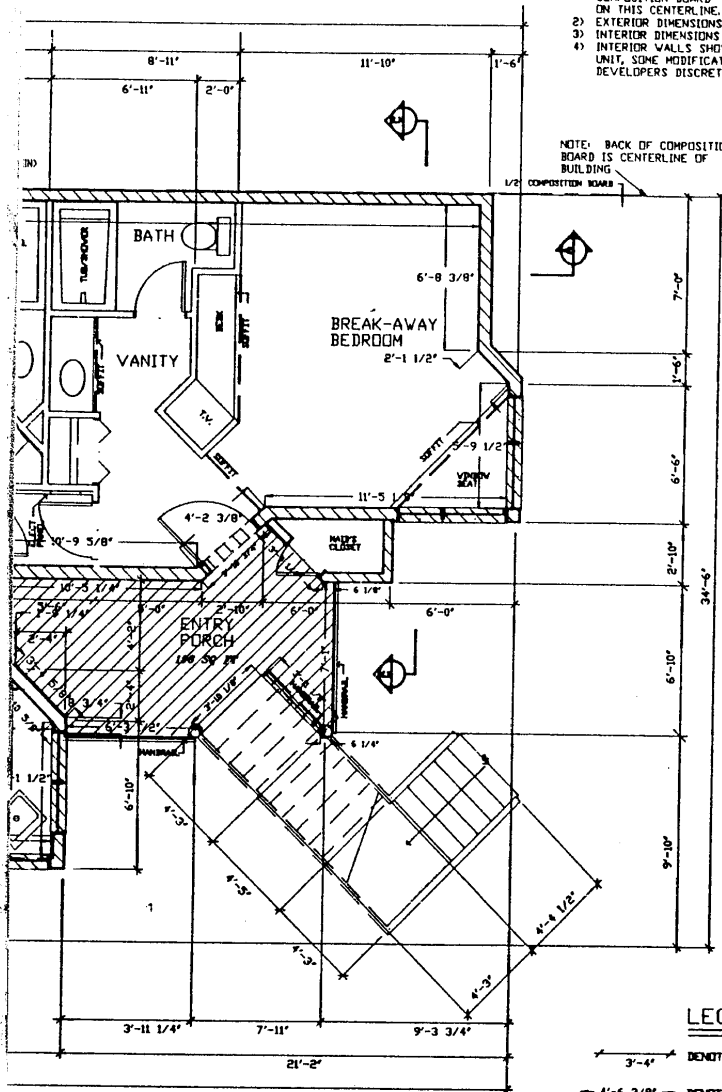
CONDOMINIUMS VILLAGE, STAGE B

7, TOWNSHIP 18 SOUTH, RANGE 12 EAST, W.M.,
TES COUNTY, OREGON

GENERAL NOTES:

- 1) CENTERLINE OF BUILDING IS BACK FACE OF COMPOSITION BOARD--BUILDING IS MIRRORED ON THIS CENTERLINE.
- 2) EXTERIOR DIMENSIONS ARE TO FRAMED WALLS.
- 3) INTERIOR DIMENSIONS ARE TO FINISHED WALLS.
- 4) INTERIOR WALLS SHOWN ARE FOR THE STANDARD UNIT, SOME MODIFICATION MAY OCCUR AT THE DEVELOPER'S DISCRETION.

NOTE: BACK OF COMPOSITION BOARD IS CENTERLINE OF BUILDING



REGISTERED
PROFESSIONAL
LAND SURVEYOR
James H. H. H. H. H.
OREGON
JULY 14, 1979
CARY W. HICKMAN
1978

LEGEND:

- 3'-4" DENOTES EXTERIOR DIMENSION
- 4'-6 3/8" DENOTES INTERIOR DIMENSION
- DENOTES COMMON ELEMENT
- DENOTES LIMITED COMMON ELEMENT

613)

SHEET 5 OF 10

71021673

*RIVER RIDGE TWO
OF MT. BACHELOR*

53'-8"

12'-0"

6'-10"

12'-7"

4'-6"

8'-1"

UNITS 611 & 613 ADJOINING

32'-9 1/4"

W.C.

MASTER BEDROOM

MASTER BATH

UNITS 611 & 614
AREA = 516 FT SQ
(NOTE: MIRROR FOR UNITS 612 & 614)

DECK
AREA = 50 SQ FT

STAIR

DRESSING

KITCHEN

NOTE: CHIMNEY FLUE FOR UNIT IS A LIMITED COMMON ELEMENT.

VAULTED CEILING

5'-8 5/8"

10'-0 1/2"

10'-9 1/2"

4'-9 5/8"

7'-1"

3'-11 5/8"

9'-0 3/4"

4'-7 1/2"

2'-9 3/8"

3'-0 1/2"

5'-9 3/4"

2'-5 3/4"

1'-10 3/4"

5'-9 3/8"

3'-0 3/4"

53'-8"

34'-6"

$$1/4' = 1'-0''$$

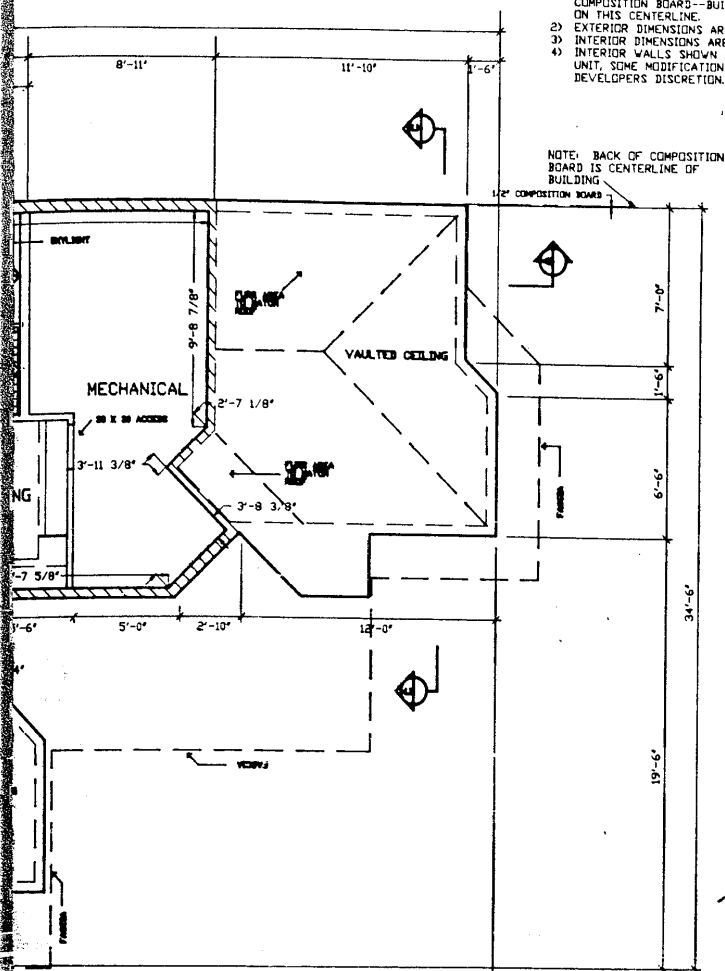
AREA : 316 SQ FT--UNITS 611 & 613 (UNITS 612 & 614 ARE A MIRROR IMAGE OF 611)

CONDOMINIUMS VILLAGE, STAGE B

7, TOWNSHIP 18 SOUTH, RANGE 12 EAST, W.M.,
ES COUNTY, OREGON

GENERAL NOTES:

- 1) CENTERLINE OF BUILDING IS BACK FACE OF COMPOSITION BOARD--BUILDING IS MIRRORED ON THIS CENTERLINE.
- 2) EXTERIOR DIMENSIONS ARE TO FRAMED WALLS.
- 3) INTERIOR DIMENSIONS ARE TO FINISHED WALLS.
- 4) INTERIOR WALLS SHOWN ARE FOR THE STANDARD UNIT. SOME MODIFICATION MAY OCCUR AT THE DEVELOPER'S DISCRETION.



REGISTERED
PROFESSIONAL
LAND SURVEYOR
Gary W. Hickman
OREGON
JULY 14, 1978
GARY W. HICKMAN
1878

LEGEND:

- 3'-4" DENOTES EXTERIOR DIMENSION
- 4'-6 3/8" DENOTES INTERIOR DIMENSION
- DENOTES COMMON ELEMENT
- DENOTES LIMITED COMMON ELEMENT

613)

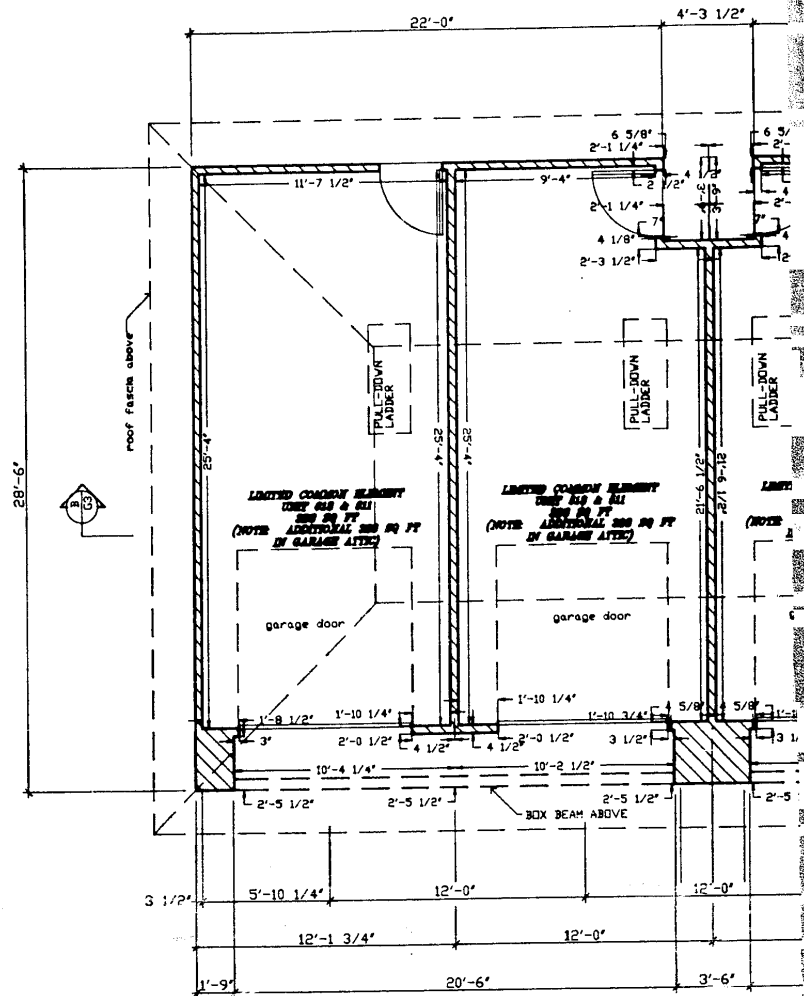
SHEET 6 OF 10

910216P6

239 - 1920

RIVER RIDGE TW OF MT. BACHELOR

LOCATED IN THE NORTH ONE-HALF OF SECTION
CITY OF BEND, DESCH



GARAGE FLOOR PLAN

1/4" = 1'-0"

239 - 1922

**ELEVATION TABLES
BUILDING 6**

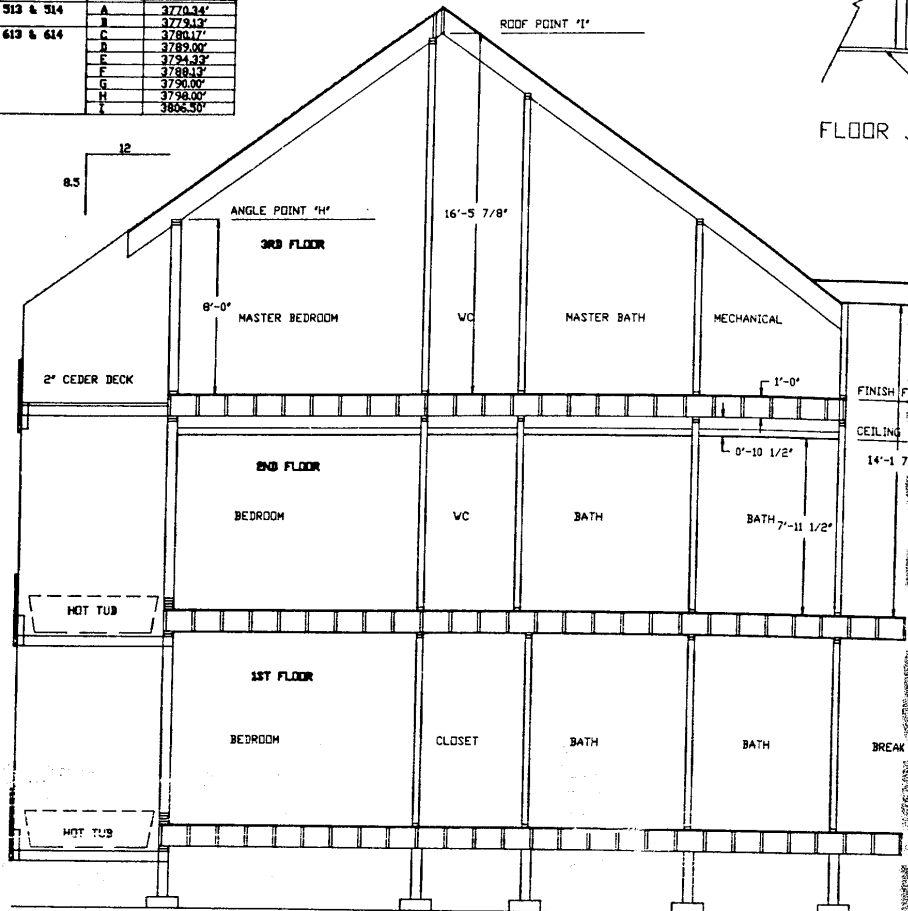
UNIT NUMBER	POINT	ELEVATION
511 & 512	A	3767.87'
	B	3775.66'
611 & 612	C	3777.79'
	D	3786.53'
	E	3791.86'
	F	3785.66'
	G	3787.53'
	H	3795.53'
	I	3804.03'

**RIVER RIDGE TWO
OF MT. BACHELOR**

LOCATED IN THE NORTH ONE-HALF OF SECTION
CITY OF BEND, DESCHUTES

BUILDING 7

UNIT NUMBER	POINT	ELEVATION
513 & 514	A	3770.34'
	B	3773.13'
613 & 614	C	3780.17'
	D	3789.00'
	E	3794.33'
	F	3788.13'
	G	3790.00'
	H	3798.00'
	I	3805.50'



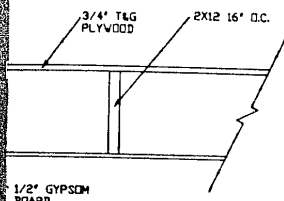
SECTION A-A

NOTED ELEVATIONS
ESTABLISHED FOR THE

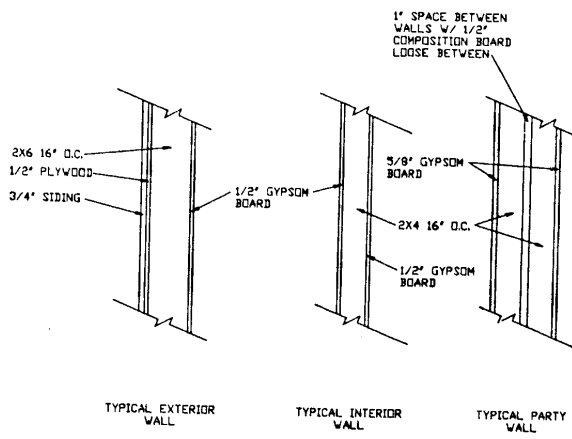
BUILDING SECTIONS & ELEVATIONS 1/4" = 1'-0"

CONDOMINIUMS VILLAGE, STAGE B

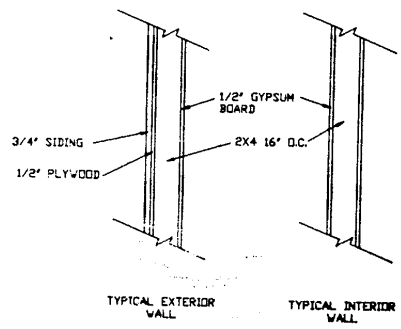
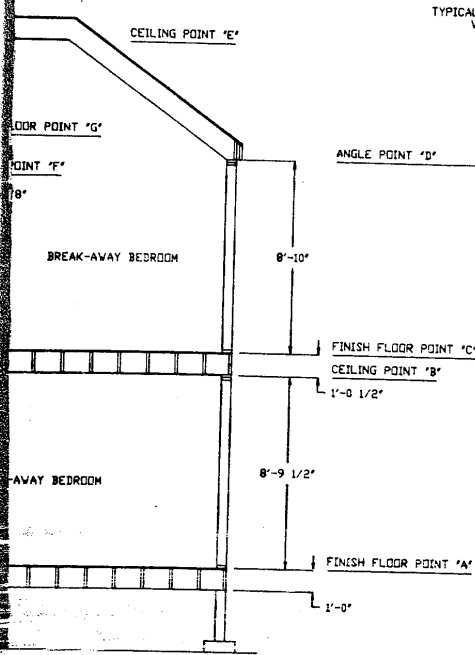
7, TOWNSHIP 18 SOUTH, RANGE 12 EAST, V.M.,
ES COUNTY, OREGON



1/2" GYPSOM BOARD
DIST WITH CEILING
TYPICALS
1" = 1'



BUILDING WALL TYPICALS
1" = 1'



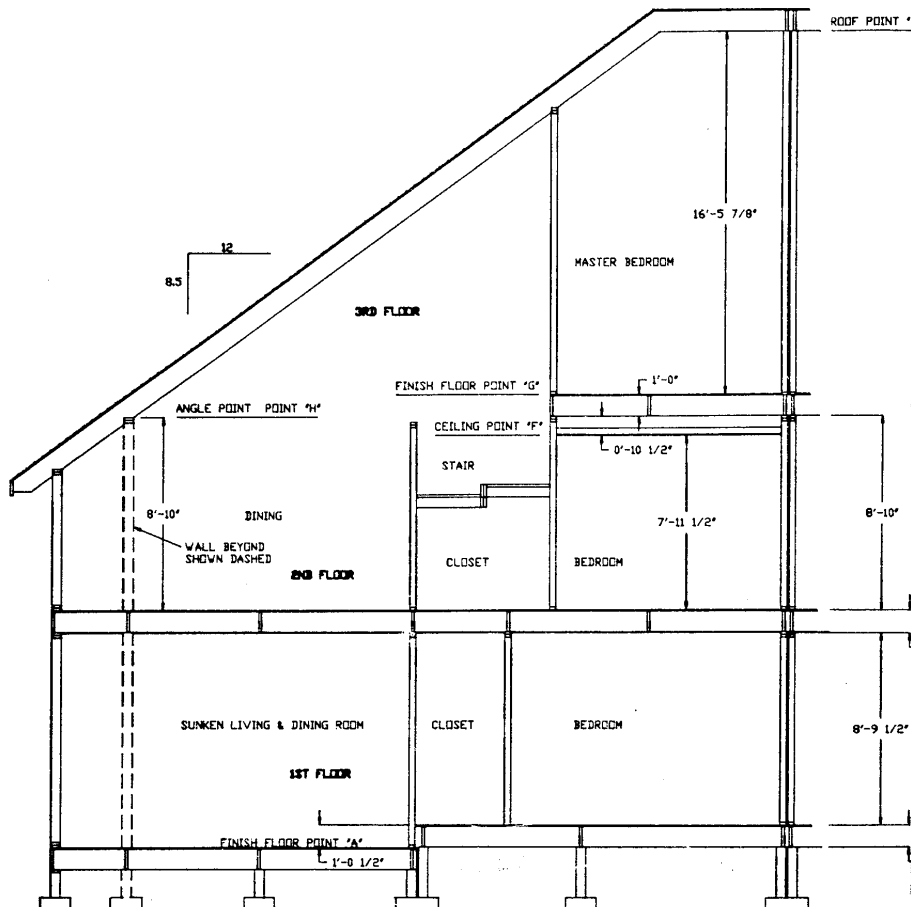
GARAGE WALL TYPICALS
1" = 1'

AS SHOWN ARE BASED UPON ELEVATION 3769.85 AS
ED AT THE 3" BRASS CAP IN A 2 1/2" IRON PIPE
INITIAL POINT

REGISTERED
PROFESSIONAL
LAND SURVEYOR
Gary W. Hickman
OREGON
JULY 14, 1978
GARY W. HICKMAN
1678

RIVER RIDGE TW OF MT. BACHELOR

LOCATED IN THE NORTH ONE-HALF OF SECTION
CITY OF BEND, DESCHU



SECTION B-B

BUILDING SECTIONS & ELEVATIONS 1/4" = 1'-0"

**2 CONDOMINIUMS
VILLAGE, STAGE B**

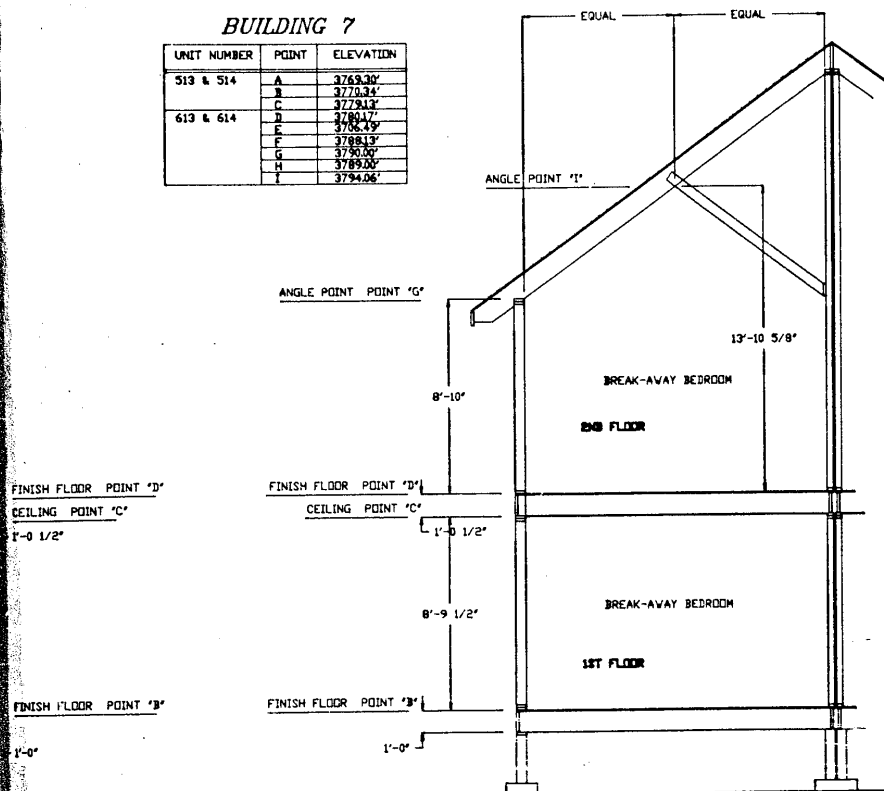
7, TOWNSHIP 18 SOUTH, RANGE 12 EAST, W.M.
TES COUNTY, OREGON

ELEVATION TABLES
BUILDING 6

UNIT NUMBER	POINT	ELEVATION
511 & 512	A	3766.93'
	B	3767.87'
	C	3776.66'
611 & 612	D	3777.70'
	E	3804.02'
	F	3783.66'
	G	3787.33'
	H	3786.33'
	I	3791.59'

BUILDING 7

UNIT NUMBER	POINT	ELEVATION
513 & 514	A	3769.30'
	B	3770.34'
	C	3772.813'
613 & 614	D	3780.17'
	E	3786.49'
	F	3788.13'
	G	3790.00'
	H	3789.00'
	I	3794.06'



SECTION C-C

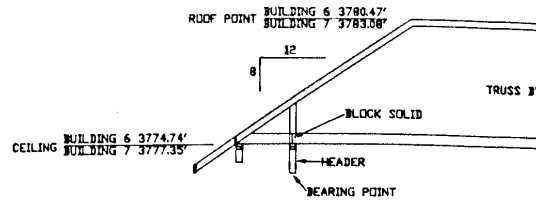
SHEET 9 OF 10

910316P

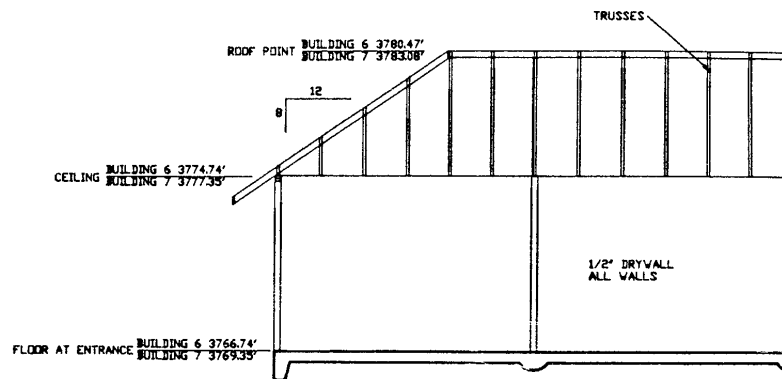
239 - 1926

**RIVER RIDGE TR
OF MT. BACHELOR**

LOCATED IN THE NORTH ONE-HALF OF SECT
CITY OF BEND, DESO



SECTION



SECTION

GARAGE SECTIONS & ELEVATIONS

1/4" = 1'-0"

239 - 1927

**TO CONDOMINIUMS
VILLAGE, STAGE B**

ON 7, TOWNSHIP 18 SOUTH, RANGE 12 EAST, W.M.,
DESCHUTES COUNTY, OREGON

STATE OF OREGON) SS.
COUNTY OF DESCHUTES)

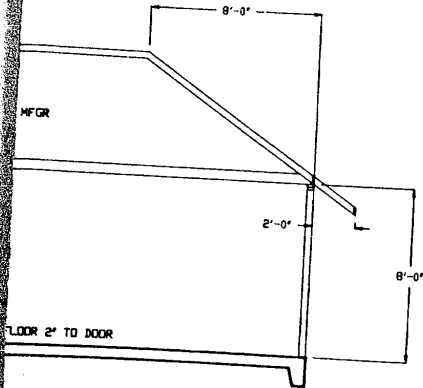
I, MARY SUE PENHOLLOW, COUNTY CLERK AND
RECORDER OF CONVEYANCES, IN AND FOR SAID
COUNTY, DO HEREBY CERTIFY THAT THE WITHIN
INSTRUMENT WAS RECORDED THIS DAY:

91 JUL 11 AM 11:35

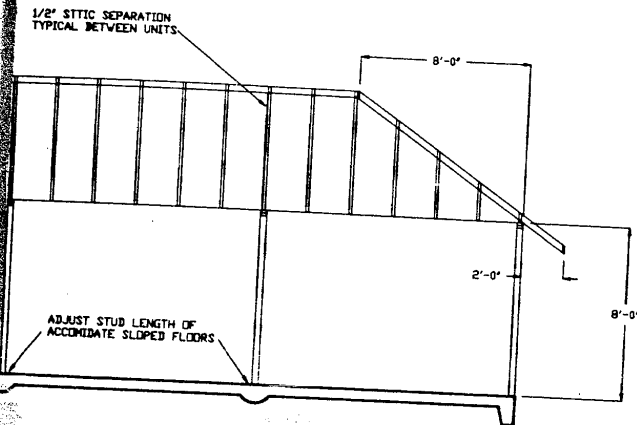
MARY SUE PENHOLLOW
COUNTY CLERK

BY: *[Signature]* DEPUTY

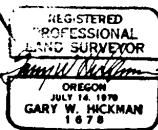
NO. **91-19609** FEE **120-**
DESCHUTES COUNTY OFFICIAL RECORDS



IN A-A



IN B-B



Hickman Williams Assoc
20360 Anderson Rd Suite C-4
Beav, OR 97701

SHEET 10 OF 10

910316PX